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specific plan zoning application for property at:
2411b blakemore avenue
nashville, tn 37212

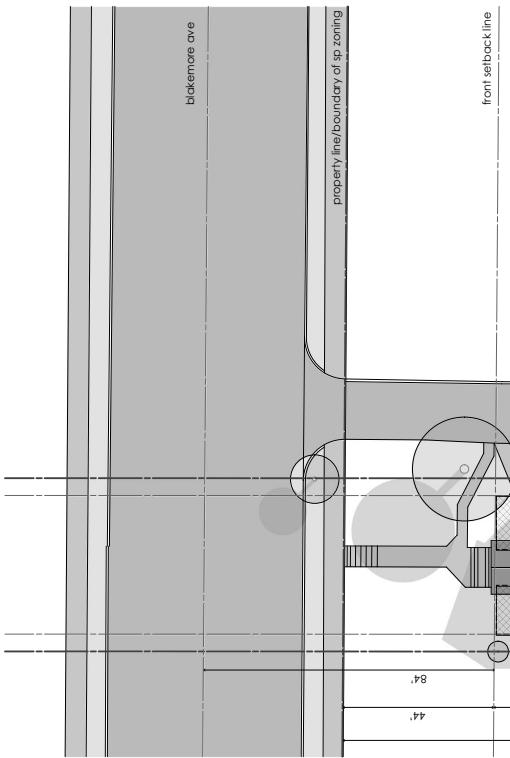
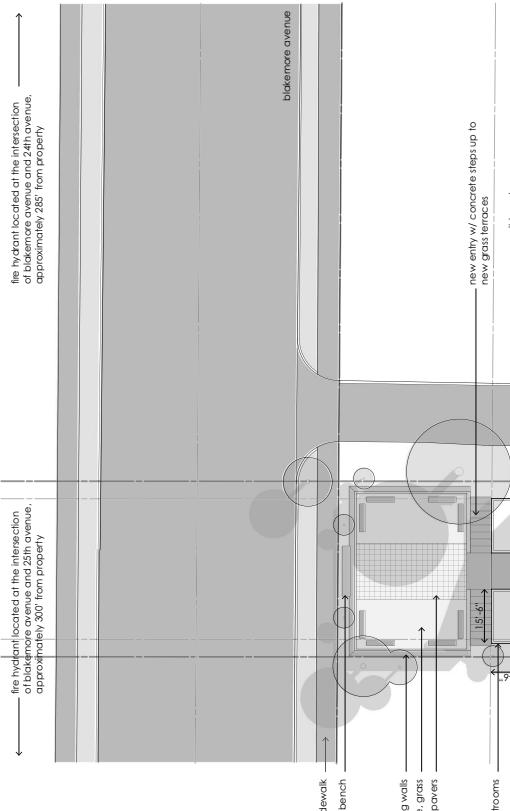
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a. documents

1	articles of inc. and bylaws	articles of inc. and bylaws
2	development standards	development standards
3	development schedule	development schedule
4	digital data files	digital data files info about digital data files 615.385.4643
5	general plan consistency	general plan consistency see initial note on page 1
6	uses permitted by rmdo as stated in the sp document under the list of allowable uses	uses permitted by rmdo as stated in the sp document under the list of allowable uses see letter b, page 3
7	metro water availability letter	metro water availability letter
8	metro water capacity letter	metro water capacity letter
9	metro water fee worksheet	metro water fee worksheet
10	metro water drainage	metro water drainage
11	current sp owner notification	current sp owner notification
12	traffic study	traffic study
13	see survey plan for location of hydrants	see survey plan for location of hydrants
14	landscape plan	see survey plan for existing vegetation location and size proposed additional plot plans to be added to the patio areas as needed per event
15	tree/plant preservation	see proposed site plan page 2 for additional landscaping to be added per event
16	screening	additional plot plans will be added to the patio areas as needed per event
17	lawn	all measures will be taken to save existing vegetation, those that must be removed will be replaced in accordance to urban forestry recommendations
18	driveway	see proposed site plan page 2 for recommended location, appropriate screening will be provided, dimensions to be determined
19	purpose note	The purpose of this SP is to permit an events hall to use on the property and permit the development of two restroom facilities.
20	occusage density	0.2
21	dwelling units	dwelling units
22	floor area ratio (FAR)	allowed
23	# of lots	1.0
24	impervious surface ratio (ISR)	0.38
25	Parking	0.75
26	Secure storage/pure use	0.75
27	Uses	dwelling units, business, retail, multifamily residential, non-residential, open space, assisted care living, hospital, medical home, residence for non-medical care, water/sewer pumping station, greenhouse, park
28	Wetlands map	proposed list of allowable uses
29	Wetlands	no wetlands exist on the site

b. dedications

1	proprietary easements	no no dedications required, per pre-application conference with planning department
2	utility lines	see survey plan for location of utility lines
3	water and sewer lines	see survey plan for location of utility lines
4	wetlands	no wetlands exist on the site



phasing plan

1

notes: boundary of SP zoning will correspond to existing property lines, and all work to be completed in a single phase
all building standards and setbacks for the new SP zoning will correspond to the existing property zoning of RMAD
see parking agreement addendum for SP zoning parking arrangement

existing structure (2200 sqft)



phase one addition (250 sqft)
Phase One Immediately




The figure is a map of a residential area. It features several property lines and zoning boundaries. A vertical dashed line on the left is labeled "property line/boundary of sp zoning". Another vertical dashed line on the right is labeled "side setback line". A horizontal dashed line at the bottom is labeled "property line/boundary of sp zoning". A horizontal dashed line near the top is labeled "side setback line". A horizontal dashed line in the middle is labeled "line of park restrooms". A large shaded area in the center is labeled "50'". A small white building is labeled "U". A north arrow is located in the bottom right corner.

proposed site plan

scale 1/16" = 1'
notes:
boundary of SP zoning will correspond to existing property lines and all
work to be completed in a single phase
all standards and setbacks for the new SP zoning will correspond
to the existing property lines of PMAD
see parking agreement addendum for SP zoning parking arrangement

This architectural site plan illustrates the proposed landscape and parking areas for a building complex. The plan includes the following key elements:

- New deck, wood (phase two):** Located on the left side, featuring a circular patterned area and a small rectangular structure.
- New patio, permeable pavers:** Located adjacent to the new deck.
- New service room (phase two):** A small rectangular building located near the bottom center.
- location of trash receptacles:** Indicated by dashed lines pointing to specific locations.
- screeening to be determined:** Indicated by dashed lines pointing to specific locations.
- existing concrete drive park:** A large shaded area at the top right.
- driveway and parking to remain:** A smaller shaded area located below the existing concrete drive park.

schematic front elevation/proposed signage elevation

not to scale

signage is to be placed on the proposed site retaining wall no signage is to be placed on the building the graphics have not been designed but the intent is towards minimalists the signage will be softly illuminated at night

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